



City of Jurupa Valley

# Accessory Dwelling Unit Handbook



2024



## City Council

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Mayor Pro Tem	Brian Berkson
Council Member	Chris Barajas
Council Member	Leslie Altamirano
Council Member	Armando Carmona

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Chair Pro Tem	Arleen Pruitt
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**Prepared by:**

RRM Design Group



*City Council, Planning Commission and City staff members acknowledged herein reflect current rosters as of April 2024.*



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## Section 1

# Introduction



# Introduction

The City of Jurupa Valley allows Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) as a permitted use in all zones that allow residential uses. These small homes are sometimes called second units, casitas, in-law units, or granny flats. In compliance with State law, regulations are established in Title 9, Section 9.240.290 (Accessory Dwelling Units) of the Jurupa Valley Municipal Code. ADUs are constructed to fit different needs, and their size typically ranges from studios to bedroom units.

## USING THE HANDBOOK

This handbook provides an overview of the different types of ADUs, design considerations, and regulations for each type.

It can assist in the process to determine which ADU may be right for you and your property.



*California Ranch*



*Cottage*



*Mediterranean*

## Permit-Ready ADU Program

To help simplify the construction of ADUs in Jurupa Valley, the City has developed the permit-ready ADU (PRADU) program. Through this program the City of Jurupa Valley is making available prototype plans for residents to use to build an ADU on their property.

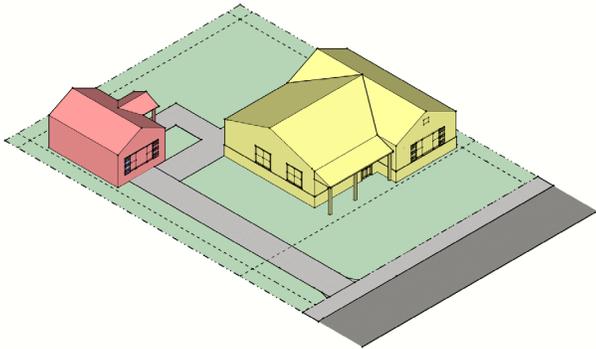
The plans come in four different prototypes for detached ADUs: studio, one-bedroom, two-bedroom, and three-bedroom configuration, and in three different styles: California Ranch, Cottage, and Mediterranean. Each of the four floor plans are also available in mirrored format to provide more options to best place the ADU on your property. There is also an option included to add a detached garage. The plans are intended to save homeowners the expense of having custom plans created and are intended for new construction only.

The applicant will be responsible for providing a site plan for their specific property on which the ADU will be located and filling out all applicable portions of the prototype plans including project specific information on the coversheet. For more information, see Section 4, "ADU Prototype Designs."

# Types of ADUs

## Detached ADUs

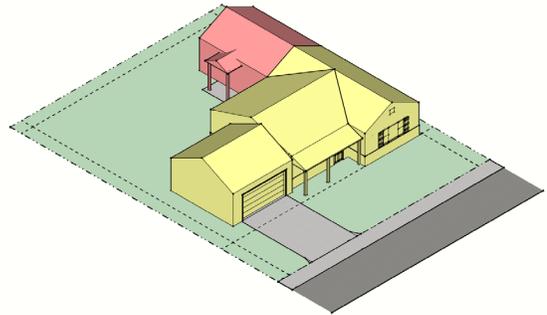
Detached ADUs are buildings that are physically separated from the primary home, with separate access. They may be new structures or converted spaces such as detached garages, or storage rooms. It must include permanent provisions for living, sleeping, eating, cooking and sanitation. They can be placed in the front, rear, or side yard where they are likely to be less visible from the street.



Detached ADU

## Attached ADUs

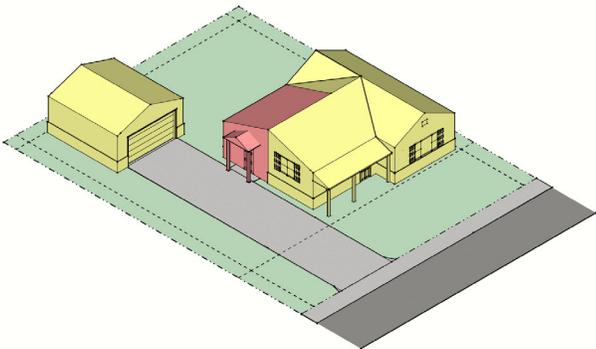
Attached ADUs are constructed as a physical expansion (i.e., addition) to the primary dwelling and share a common wall with the primary dwelling. They can be either expansions or conversions of existing dwelling space (beyond 500 square feet). It must include permanent provisions for living, sleeping, eating, cooking and sanitation. The design should mimic and match the primary dwelling unit.



Attached ADU

## Junior ADUs

Junior ADUs are attached to the primary dwelling. Junior ADUs shall not be more than 500 square feet in size. They can be placed in the front yard, or the rear or side yard where they are less likely to be visible from the street. They can be new construction or home conversions. A JADU may share sanitary facilities with the primary dwelling, or have separate sanitary facilities. Attached JADUs should mimic and match the design of the primary dwelling unit.



JADU

# Where Do I Start?

## Consider Your Property

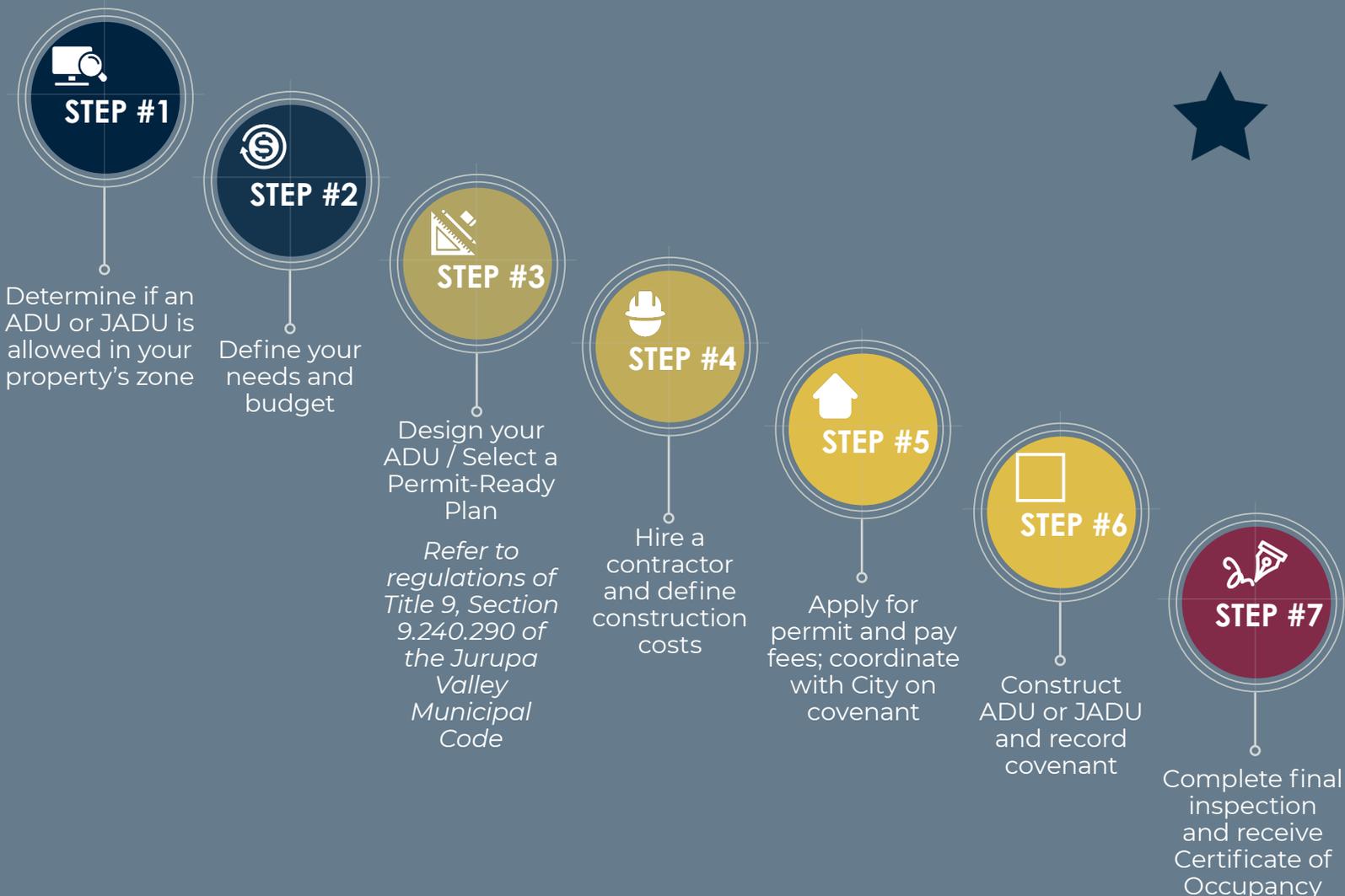
Homeowners should become familiar with the regulations of Title 9, Section 9.240.290 (Accessory Dwelling Units) of the Jurupa Valley Municipal Code. You should determine if an ADU is allowed on your property, and whether your property can accommodate the ADU configuration you would like to build.

Generally, if you own a single-family residential property, you are eligible to build an ADU or JADU. If you own a multi-family residential property, you are eligible to build an ADU.

Once you are eligible to build, there will be additional limitations on what is feasible to build based on your specific property's size, dimensions, and slope (especially if you are located on a hillside). In no case shall an ADU be less than an "efficiency unit", which shall be a minimum of 150 square feet, as defined in California Health and Safety Code Section 17958.

**If you are considering whether developing an ADU is right for you or if you have a question, City Staff is available to assist!**

Send a message to:  
[planninginfo@jurupavalley.org](mailto:planninginfo@jurupavalley.org)



# Submittal Requirements

If the project does not meet the requirements established in JVMC Sec. 9.240.290.C.(2), the following items must be submitted as part of an ADU planning permit application submittal to the Jurupa Valley Planning Division, prior to submittal to the Building and Safety Department (*applicable for ADUs that are over 800 square feet*).

- Complete Land Use Entitlement Application;
- Payment of Application Fees
- Architectural Plans (Site Plan, Floor Plan, Colored Elevations, & Color Sample and Material Sheet);
- Complete set of photographs of property;
- Preliminary Title Report (30-days current);
- Grant Deed;
- Digital files (all items listed above in USB drive);
- All items required by Sec. 9.240.290.D.

If the project meets the requirements established in JVMC Sec. 9.240.290.C.(2), the following items must be submitted as part of a building permit submittal to the Jurupa Valley Building and Safety Department (*applicable for ADUs that are 800 square feet or smaller*).

- Application: Submit a completed building permit application and construction documents (plans, calculations, etc.) on 3 USB flash drives at the City's Public Counter located at 8930 Limonite Avenue.

If you are using the PRADU plans:

- Legibly complete all necessary fields on the cover sheet of the plans
- Add a site plan and include items specified in the "Site Plan Checklist" that are located on the PRADU plans to the plan set.
- Include any supplemental documents required by the PRADU plans, such as percolation reports or revised energy calculations.
- Please do not complete the address portion of the PRADU plans as an address will be assigned to the ADU after submittal.

Prior to (1) building permit issuance and (2)

final inspection, clearances from the following City departments and other agencies must be obtained:

- Building and Safety Division
- Planning Division
- Public Works & Engineering Department
- School District
- Jurupa Area Recreation and Parks District (JARPD)
- Community Services District or Company/Organization that provides water or sewer services
- CAL FIRE/Riverside County Fire Department

Prior the issuance of Certificate of Occupancy for the ADU/JADU, the following two items must be completed:

- Recordation of a covenant for the ADU or JADU. An ADU or JADU cannot be sold, transferred, or assigned separately from the primary dwelling, but may be rented. ADU cannot be used for short-term rentals for less than 31 days. Planning Division will prepare a covenant for you to notarize and record.



NOTE: From the PRADU plans, prototypes 1 & 2 may be processed as Building Permits with the Building and Safety Department. Prototypes 3 & 4 may be processed through the Planning Division prior to submittal for the Building Permit application to the Building and Safety Department.

# Cost Considerations

Homeowners should evaluate the financial impact of building an ADU on their property. Here are some of the costs associated with building an ADU:

- Construction labor and materials (including demolition and site preparation).
- Architectural design services.
- Sewer/water connection fees.

- City permit fees (e.g., Planning, Engineering, Building).
- Development impact fees.
- Financing (e.g. lender fees and interest payments);
- Insurance fees.
- Fees from other agencies such as, but not limited to, CalFire, JUSD, RCSD, JCSD.

# Key Considerations



*Integrate key features on the ADU from the primary residence such as roof lines, entry features, and materials.*

*ADUs located near property lines should have windows offset to avoid direct sightlines into neighboring residences.*



*Separate exterior entries to ADUs and JADUs should be accessible through a clear path.*



## Section 2

# ADU Requirements Chart



# ADU Requirements Chart

	<i>Detached ADU</i>	<i>Attached ADU</i>	<i>JADU</i>
SIZE	Minimum: 150 square feet (no less than an efficiency unit as defined in California Health and Safety Code Section 17958). Maximum: 1,000 square feet.	Minimum: 150 square feet (no less than an efficiency unit as defined in California Health and Safety Code Section 17958). Maximum: 1,000 square feet.	Minimum: 220 square feet Maximum: 500 square feet (not including shared sanitation facilities)
HEIGHT	16 feet maximum, with the following exceptions: <ul style="list-style-type: none"> <li>• A detached ADU shall not exceed a height limit of eighteen (18) feet, or twenty (20) feet to match the roof pitch of the primary dwelling, when located within a half (½) mile of a major transit stop, or high-quality transit corridor.</li> <li>• A detached ADU shall not exceed eighteen (18) feet in height when located on a lot with an existing or proposed multi-story multi-family dwelling.</li> <li>• An ADU constructed above a garage shall not exceed the height limits of the underlying zone.</li> </ul>	16 feet maximum, with the following exceptions: <ul style="list-style-type: none"> <li>• An attached ADU may not exceed twenty-five (25) feet in height or exceed the height of a primary dwelling in the underlying zone, whichever is lower.</li> <li>• An ADU constructed above a garage shall not exceed the height limits of the underlying zone.</li> </ul>	Not applicable, contained within the existing or proposed primary residence.
SETBACKS	Side: 4 feet Rear: 4 feet Front: Same as base zone*		No setback requirements if proposed within existing structure. However, new addition / construction must comply with minimum required setbacks.
LOT COVERAGE	Same as base zone*		Applicable.

\* Except where the application of the lot coverage regulations would not permit construction of an eight hundred-square foot ADU that is sixteen (16) feet in height with at least four-foot side and rear yard setbacks.



# ADU Requirements Chart

	<i>Detached ADU</i>	<i>Attached ADU</i>	<i>JADU</i>
EXPANSION	ADUs within existing accessory structures: May include an expansion of not more than one hundred fifty (150) square feet beyond the same physical dimensions as the existing accessory structure.	ADU and JADU within primary dwelling and ADUs within existing accessory structures: May include an expansion of not more than one hundred fifty (150) square feet beyond the same physical dimensions as the existing accessory structure.	
PARKING	<p>In addition to the off-street parking space(s) required for the primary dwelling, one (1) off-street parking space shall be provided for each ADU, except when**:</p> <ul style="list-style-type: none"> <li>• The ADU is located within one-half (½) mile walking distance of public transit</li> <li>• The ADU is located within an architecturally and historically significant historic district</li> <li>• The ADU is part of a proposed or existing primary dwelling or accessory structure</li> <li>• The ADU is located in an area where on-street parking permits are required but not offered to an ADU occupant</li> <li>• The ADU is located within one (1) block of a city-approved and dedicated parking space for a car share vehicle.</li> </ul>	No additional requirements.	
ENTRY/ACCESS	An ADU shall have a separate exterior access.	<ul style="list-style-type: none"> <li>• A JADU shall have a separate exterior access.</li> <li>• A JADU shall have an interior entry to the primary dwelling's main living area.</li> </ul>	
FIRE SAFETY	The construction of all new accessory dwelling units shall meet minimum standards for fire safety as defined in the city building code and the city fire code, as the same may be amended by the city from time to time.		
DESIGN	The ADU shall comply with any objective design standards adopted by the City that are applicable to the zoning district or specific plan area where the ADU is located.	Not applicable.	

\*\* When the ADU is created by converting or demolishing a garage, carport or covered parking structure, replacement of parking space(s) eliminated by the construction of the ADU shall not be required as long as the ADU remains in use as a legal ADU. When an ADU is included in an application to create a new single-family or multi-family dwelling on the same lot, the ADU shall not be subject to parking requirements as long as the ADU remains in use as a legal ADU.

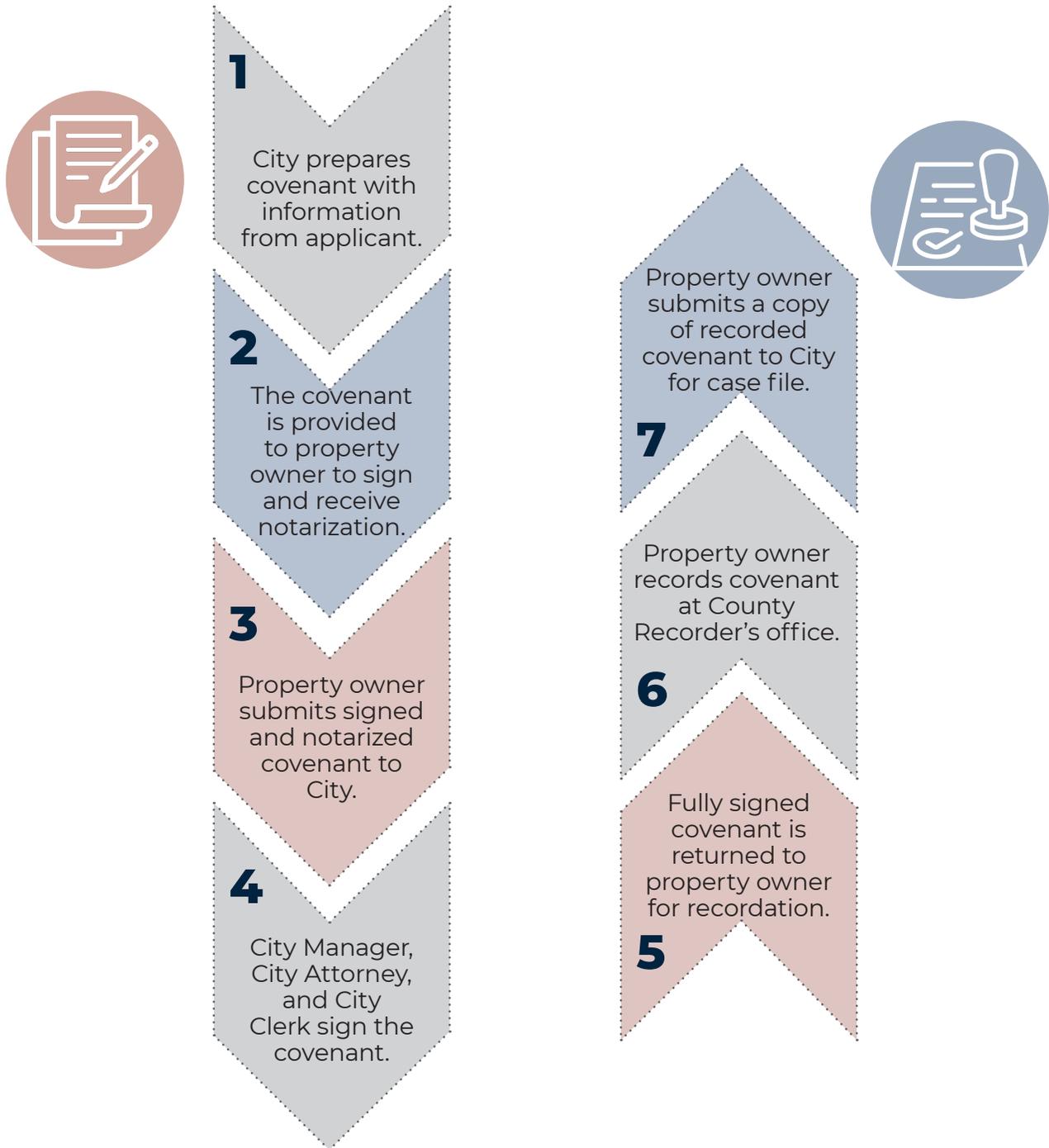
# ADU Requirements Chart

	<i>Detached ADU</i>	<i>Attached ADU</i>	<i>JADU</i>
AMENITIES	<p>Shall provide complete living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking, and sanitation.</p>		<ul style="list-style-type: none"> <li>• May include separate sanitation facilities, or may share sanitation facilities with the existing single-family dwelling</li> <li>• Must have an interior entry to the primary dwelling's main living area, independent of the exterior entrances of the JADU and primary dwelling</li> <li>• Must include an efficiency kitchen which contains all of the following: a cooking facility with appliances, a food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the JADU.</li> </ul>
OCCUPANCY / COVENANT (SEE SECTION 9.240.290.G)	<p>Covenant required prior to the issuance of a certificate of occupancy of the ADU or JADU, the property owner shall record a declaration of restrictions, in a form approved by the City Attorney, placing the following restrictions on the property, the property owner, and all successors in interest:</p> <ul style="list-style-type: none"> <li>• The ADU shall not be used for short-term rentals for less than thirty-one (31) days.</li> <li>• If there is a JADU on the property, either the JADU or primary dwelling shall be occupied by the owner of record.</li> </ul>		



# Covenant Process

A covenant is required prior to the issuance of a certificate of occupancy of the ADU or JADU. The typical process is depicted below. Contact Planning Division to start the process.



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## Section 3

# ADU Prototype Designs





# Prototype 1 - California Ranch

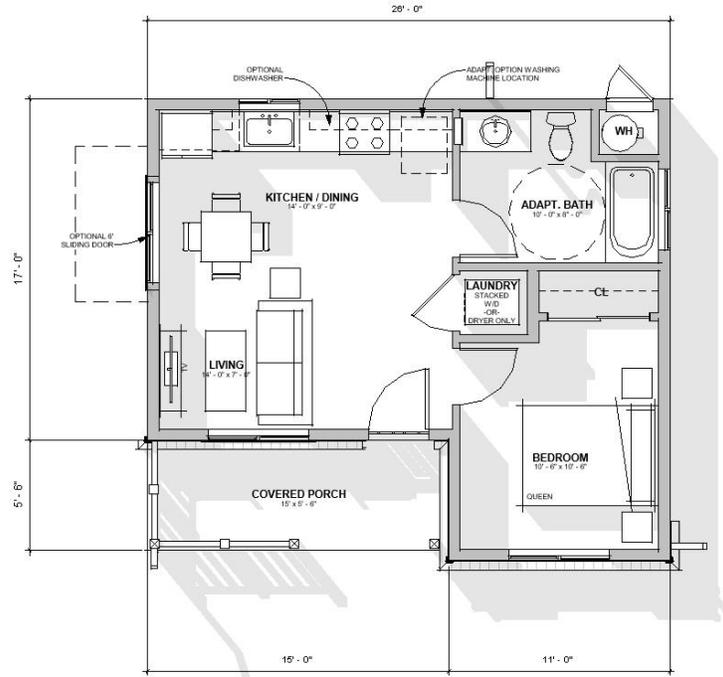
## Prototype 1

The Prototype 1 ADU is a compact studio at 500 square feet. The plan accommodates a covered front porch, in-unit laundry closet, full kitchen and living room with an optional sliding door opening to a side patio, a private bedroom with a closet, and an optional water heater or extra storage space.

The proposed front porch measures 15 feet by 5 feet and 6 inches, for a total area of 82.5 square feet.

Prototype 1 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## California Ranch

The California Ranch style is a compact studio characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood porch columns
- Decorative trim and use of wood treatments
- Asphalt shingle roof



# Prototype 1 - Cottage

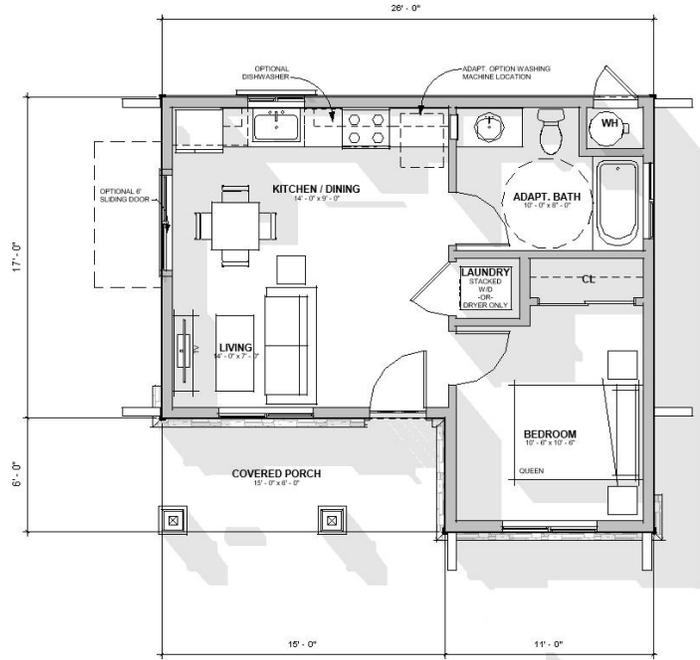
## Prototype 1

The Prototype 1 ADU is a compact studio at 500 square feet. The plan accommodates a covered front porch, in-unit laundry closet, full kitchen and living room with an optional sliding door opening to a side patio, a private bedroom with a closet, and an optional water heater or extra storage space.

The proposed front porch measures 15 feet by 6 feet, for a total area of 90 square feet.

Prototype 1 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## Cottage

The Cottage style is a compact studio characterized by:

- Covered porch
- Wood with fiber cement porch columns
- Exposed beams and wood members
- Stone wainscot
- Decorative trim and use of wood treatments
- Asphalt shingle roof





# Prototype 1 - Mediterranean

## Prototype 1

The Prototype 1 ADU is a compact studio at 500 square feet. The plan accommodates a covered front porch, in-unit laundry closet, full kitchen and living room with an optional sliding door opening to a side patio, a private bedroom with a closet, and an optional water heater or extra storage space.

The proposed front porch measures 15 feet by 5 feet and 6 inches, for a total area of 82.5 square feet.

Prototype 1 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## Mediterranean

The Mediterranean style is a compact studio characterized by:

- Covered porch
- Stucco siding and columns
- Decorative exterior sconce
- Minimal eaves
- Clay tile roof





# Prototype 2 - California Ranch

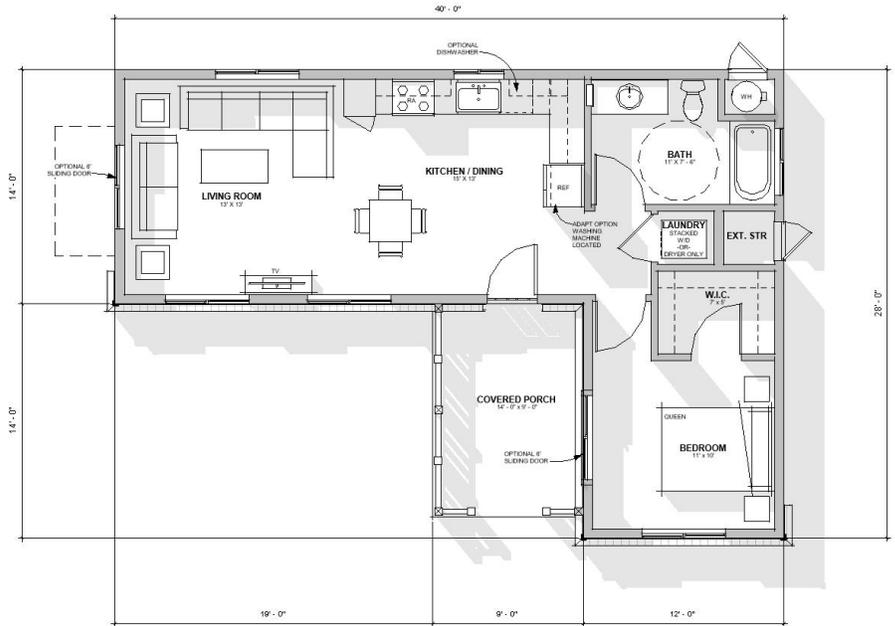
## Prototype 2

The Prototype 2 ADU is a larger one bedroom home totaling 730 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen and dining room, full bathroom, large bedroom with a walk-in closet, exterior storage, and two optional sliding doors along the living room and the bedroom.

The front porch measures 9 feet by 14 feet, for a total area of 126 square feet.

Prototype 2 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## California Ranch

The California Ranch style is a one bedroom home characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood porch columns
- Decorative trim and use of wood treatments
- Asphalt shingle roof



# Prototype 2 - Cottage

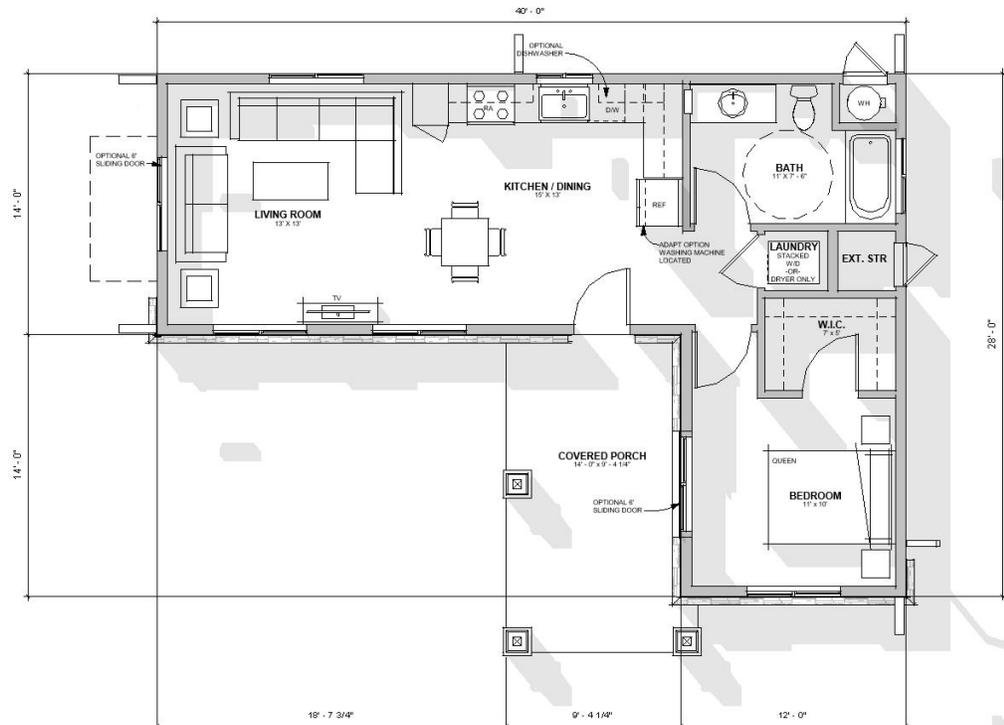
## Prototype 2

The Prototype 2 ADU is a larger one bedroom home totaling 730 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen and dining room, full bathroom, large bedroom with a walk-in closet, exterior storage, and two optional sliding doors along the living room and the bedroom.

The proposed front porch measures 9 feet and 4-1/4 inches by 14 feet, for a total of approximately 130 square feet.

Prototype 2 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## Cottage

The Cottage style is a one bedroom home characterized by:

- Covered porch
- Wood with fiber cement porch columns
- Exposed beams and wood members
- Stone wainscot
- Decorative trim and use of wood treatments
- Asphalt shingle roof





# Prototype 2 - Mediterranean

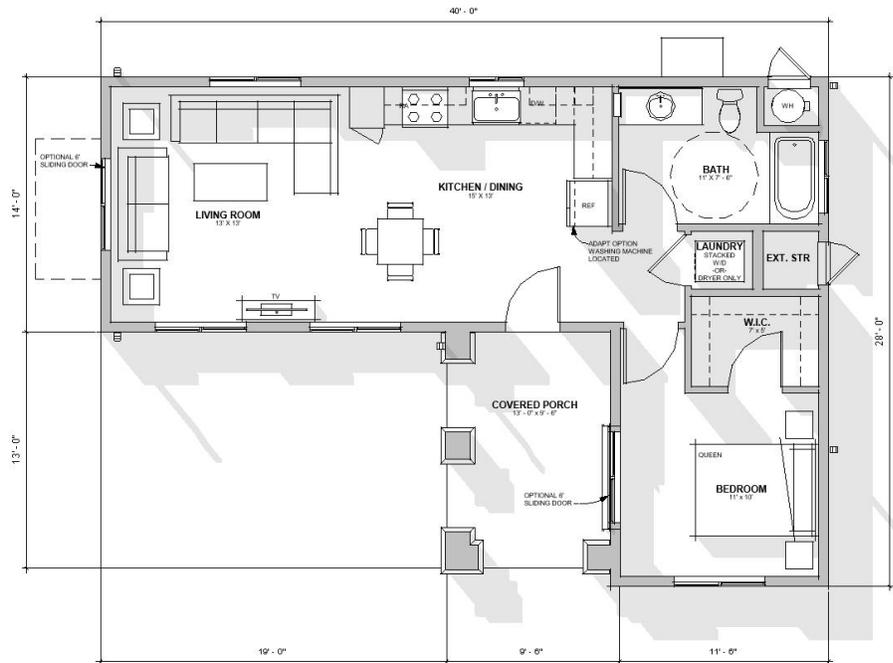
## Prototype 2

The Prototype 2 ADU is a larger one bedroom home totaling 730 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen and dining room, full bathroom, large bedroom with a walk-in closet, exterior storage, and two optional sliding doors along the living room and the bedroom.

The proposed front porch measures 9 feet and 6 inches by 13 feet, for a total area of 123.5 square feet.

Prototype 2 is also available in a mirrored floor plan option.

*(This prototype is eligible to be processed via Building Permit).*



## Mediterranean

The Mediterranean style is one bedroom home characterized by:

- Covered porch
- Stucco siding and columns
- Decorative exterior sconce
- Minimal eaves
- Clay tile roof





# Prototype 3 - California Ranch

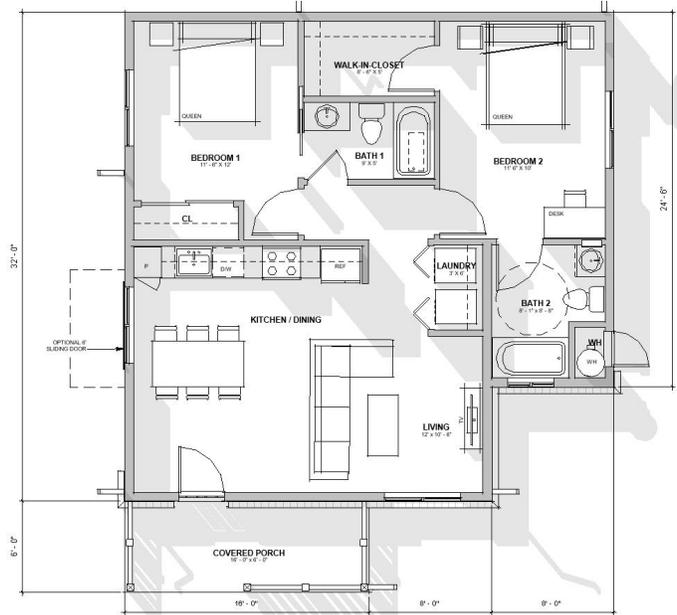
## Prototype 3

The Prototype 3 ADU is a two bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, large bedroom with a walk-in closet, large bedroom with closet, optional exterior storage, and one optional sliding door along the dining area.

The proposed front porch measures 16 feet by 6 feet, for a total area of 96 square feet.

Prototype 3 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## California Ranch

The California Ranch style is a two bedroom home characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood porch columns
- Decorative trim and use of wood treatments
- Asphalt shingle roof





# Prototype 3 - Cottage

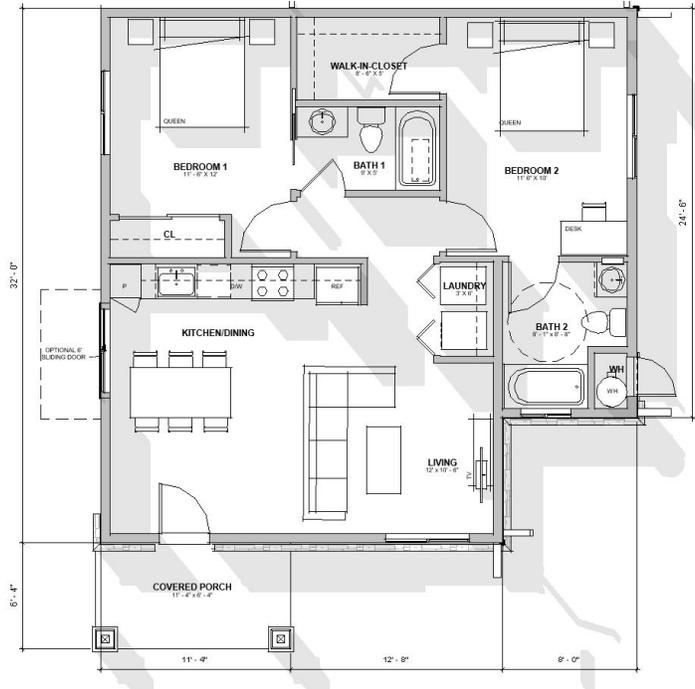
## Prototype 3

The Prototype 3 ADU is a two bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, large bedroom with a walk-in closet, large bedroom with closet, optional exterior storage, and one optional sliding door along the dining area.

The proposed front porch measures 11 feet and 4 inches by 6 feet and 4 inches, for a total area of approximately 72 square feet.

Prototype 3 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## Cottage

The Cottage style is a two bedroom home characterized by:

- Covered porch
- Wood with fiber cement porch columns
- Exposed beams and wood members
- Stone wainscot
- Decorative trim and use of wood treatments
- Asphalt shingle roof



# Prototype 3 - Mediterranean

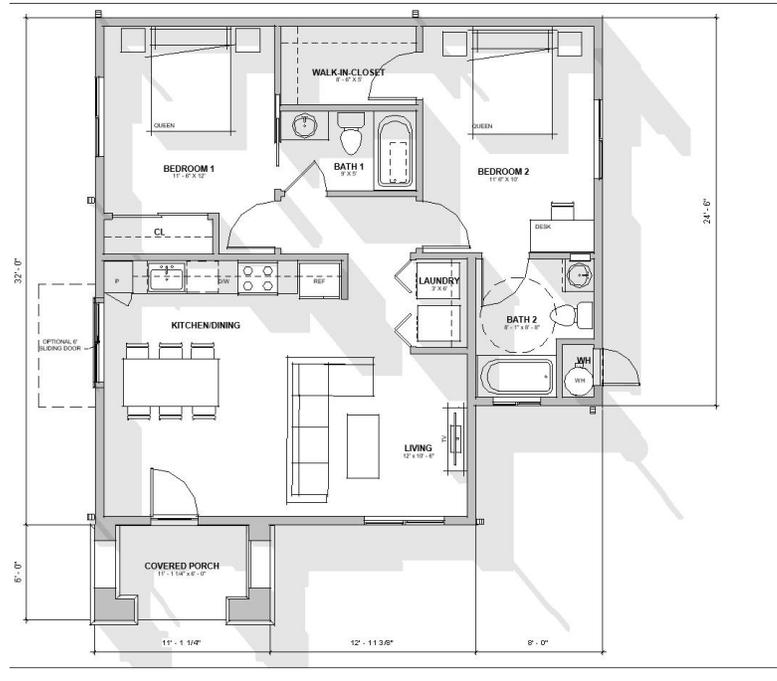
## Prototype 3

The Prototype 3 ADU is a two bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, large bedroom with a walk-in closet, large bedroom with closet, optional exterior storage, and one optional sliding door along the dining area.

The proposed front porch measures 11 feet and 1-1/4 inches by 6 feet, for a total area of approximately 67 square feet.

Prototype 3 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## Mediterranean

The Mediterranean style is a two bedroom home characterized by:

- Covered porch
- Stucco siding and columns
- Decorative exterior sconce
- Minimal eaves
- Clay tile roof



# Prototype 4 - California Ranch

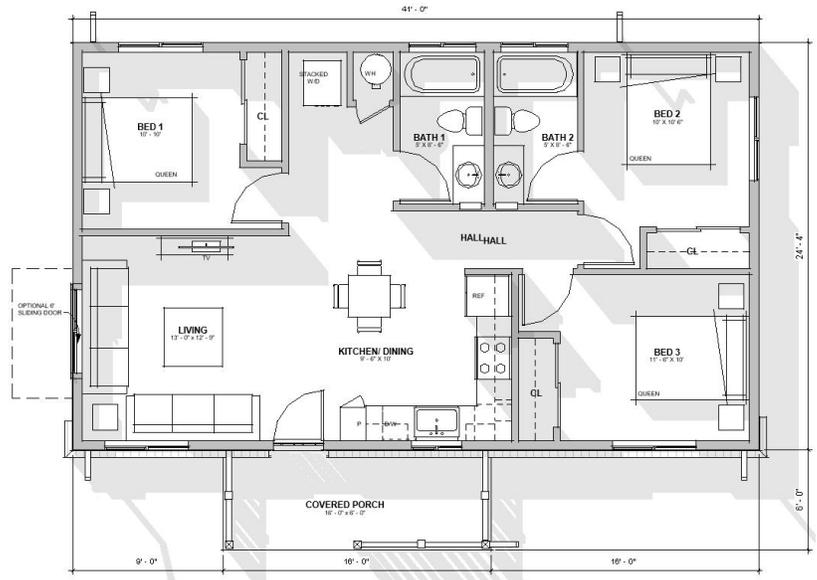
## Prototype 4

The Prototype 4 ADU is a three bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, three bedrooms each with a closet, and one optional sliding door along the living room.

The proposed front porch measures 16 feet in length by 6 feet in depth, for a total of 96 square feet.

Prototype 4 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## California Ranch

The California Ranch style is a three bedroom home characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood porch columns
- Decorative trim and use of wood treatments
- Asphalt shingle roof



# Prototype 4 - Cottage

## Prototype 4

The Prototype 4 ADU is a three bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, three bedrooms each with a closet, and one optional sliding door along the living room.

The proposed front porch measures 16 feet and 7 inches in length by 6 feet and 4 inches in depth, for a total of approximately 104 square feet.

Prototype 4 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## Cottage

The Cottage style is a three bedroom home characterized by:

- Covered porch
- Wood with fiber cement porch columns
- Exposed beams and wood members
- Stone wainscot
- Decorative trim and use of wood treatments
- Asphalt shingle roof



# Prototype 4 - Mediterranean

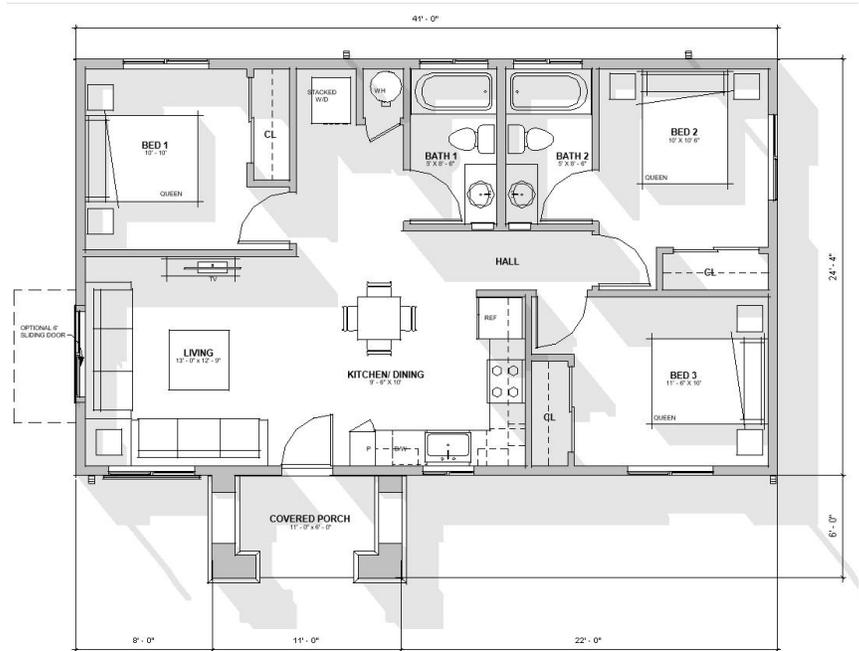
## Prototype 4

The Prototype 4 ADU is a three bedroom home totaling 1,000 square feet. The plan accommodates a covered porch, in-unit laundry closet, large living room, full kitchen, full dining area, two full bathrooms, three bedrooms each with a closet, and one optional sliding door along the living room.

The proposed front porch measures 11 feet in length by 6 feet in depth, for a total of 66 square feet.

Prototype 4 is also available in a mirrored floor plan option.

*(This prototype will require Planning Division Review prior to submittal to Building and Safety).*



## Mediterranean

The Mediterranean style is a three bedroom home characterized by:

- Covered porch
- Stucco siding and columns
- Decorative exterior sconce
- Minimal eaves
- Clay tile roof



# Detached Garage Plan

## Detached Garage Plan

**Note:** Plans will be available in Summer of 2024, and this page will be updated accordingly.

Placeholder for detached garage plan description.

*Placeholder for graphic.*

*Placeholder for graphic.*

## Detached Garage Plan

Placeholder for detached garage features.

- Placeholder for features



## Section 4

# Impact Fees



**IMPACT FEES.** ADUs that are 750 square feet or larger are subject to payment of a portion of the following applicable impact fees prior to obtaining a Certificate of Occupancy.

- **Development Impact Fees (DIF):** \$5,500
- **Multiple Species Habitat Conservation Plan (MSHCP):** \$4,128.75 (\$3,947.00 + \$181.75)
  - Collection Fee: \$181.75
  - Local Development Fee: \$3,947.00
- **Road and Bridge Benefit District Fees (RBBD):** Rates only apply if the property is located within any of the RBBD zones. Confirm with the Planning Division if the property is in the RBBD.

<b>MIRA LOMA ROAD AND BRIDGES BENEFIT DISTRICT</b>			
<b>Zone A</b>	<b>Zone B</b>	<b>Zone D</b>	<b>Zone E</b>
\$1,667.00	\$884.00	\$2,681.00	\$1,644.00

Impact fees for the ADU will be charged in proportion to the square footage of the primary residence. See examples below.

<b>EXAMPLE OF CALCULATION OF IMPACT FEE FOR ADU</b>	
Size of ADU (sq. ft.)	750
Size of Primary Home (sq. ft.)	3,000
Ratio of ADU (sq. ft.) to Primary Home (sq. ft.)	25% (750 is 25% of 3,000)
Detached Dwelling Unit Impact Fee	\$5,500.00
Local Development Fee MSHCP	\$3,947.00
Collection Fee MSHCP	\$181.75
RBBD Fee (Ex. Zone B)	\$884.00
Total cost of fees	\$10,512.75
Actual Cost of ADU Development Impact Fee	\$2,628.19 (25% of \$10,512.75)

**OTHER FEES.** Please contact City departments, organizations, agencies to inquire of any required fees. These fees are case-specific and will vary on factors and scope of project. Fees from other agencies may be required.

*Fees included on this page reflect current fees as of April 2024.*



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## Section 5

# Frequently Asked Questions



## **Does my zone allow for an ADU?**

Pursuant to California Government Code Section 65852.2(e) and Jurupa Valley Municipal Code, the city shall ministerially approve an application for a building permit within a residential zone or mixed use zone that allows residential uses.

## **Why does the state allow for 1,200 square feet but the City only 1,000 square feet?**

State ADU Law does not limit the authority of local agencies to adopt less restrictive requirements for the creation of ADUs. (Gov. Code, § 65852.2, subd. (g).) State ADU Law allows local agencies to create ordinances for the creation of accessory dwelling units in areas zoned to allow single-family or multifamily dwelling residential use. The City Council adopted an ordinance that includes standards for accessory dwelling units that include maximum size of a unit, which in City of Jurupa Valley is 1,000 square feet.

## **Will I need to install fire sprinklers in my ADU?**

Fire sprinklers are required to be installed if they are required for the primary dwelling. Please contact Building Department to confirm.

## **Will parking be required for my ADU?**

For attached and detached ADUs, one (1) off-street parking space is required for new ADUs unless exempt. No parking space is required for ADUs created within an existing house or when an accessory structure is converted into an ADU. No additional parking is required for Junior ADUs.

## **What is the smallest size my ADU can be?**

In no case shall an ADU be less than an “efficiency unit”, which must be a minimum of 150 square feet, as defined in California Health and Safety Code Section 17958.

## **Are ADUs required separate exterior access?**

Yes, ADU shall have a separate exterior access.

## **What is an efficiency kitchen?**

An efficiency kitchen shall include, at a minimum, a cooking facility with appliances, a food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the JADU.

## **If a garage is converted to an ADU, do I have to replace parking?**

When the ADU is created by converting or demolishing a garage, carport or covered parking structure, replacement of parking space(s) eliminated by the construction of the ADU shall not be required as long as the ADU remains in use as a legal ADU.

## **Are ADUs required to have separate water and sewer services?**

ADUs and JADUs shall have adequate water and sewer services. These services may be provided from the water and sewer points of connection for the primary dwelling and not be a separate set of services. For an ADU that is not a conversion of an existing space, a separate utility connection directly between the ADU and the utility may be required. Consistent with California Government Code Section 65852.2(f), the connection may be subject to a connection fee or capacity charge that shall be proportionate to the burden of the proposed accessory dwelling unit. All water and sewer service inquiries from the applicant should be followed up with the Community Services District that services their property (either Rubidoux Community Services District or Jurupa Community Services District).

